



PROPOSED WAREHOUSE & OFFICE BUILDING

ARMIDALE AIRPORT BUSINESS PARK - CAMERON DRIVE

drawing schedule			
A 00	COVER SHEET	REV E	DATED 01.07.22
A 01	SITE PLAN	REV E	DATED 01.07.22
A 02	OVERALL FLOOR PLAN	REV E	DATED 01.07.22
A 03	LOWER FLOOR PLAN	REV E	DATED 01.07.22
A 04	UPPER FLOOR PLAN	REV E	DATED 01.07.22
A 05	ELEVATIONS	REV E	DATED 01.07.22
A 06	SECTIONS	REV E	DATED 01.07.22
A 07	SECTIONS	REV E	DATED 01.07.22
A 08	SHADOWS 9am	REV E	DATED 01.07.22
A 09	SHADOWS 11am	REV E	DATED 01.07.22
A 10	SHADOWS 1pm	REV E	DATED 01.07.22
A 11	SHADOWS 3pm	REV E	DATED 01.07.22

In addition to the National Construction Code series, Building Code of Australia Vol. 1, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to through the documentation & construction works;

- AS1668 – Mechanical ventilation & air conditioning in Buildings
- AS3000 – Electrical installations; buildings, structures & premises (known as the saa wiring rules)
- AS1428.1 – General requirements for access – buildings
- AS2890.6 – Off-street parking; mandatory requirements
- AS1680.0 – Interior lighting - safe movement
- Children (Education & Care Services) Regulation 2011

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figured dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.

For the purpose of the Building Code of Australia, Vol. 1, 2019, the development may be described as follows:

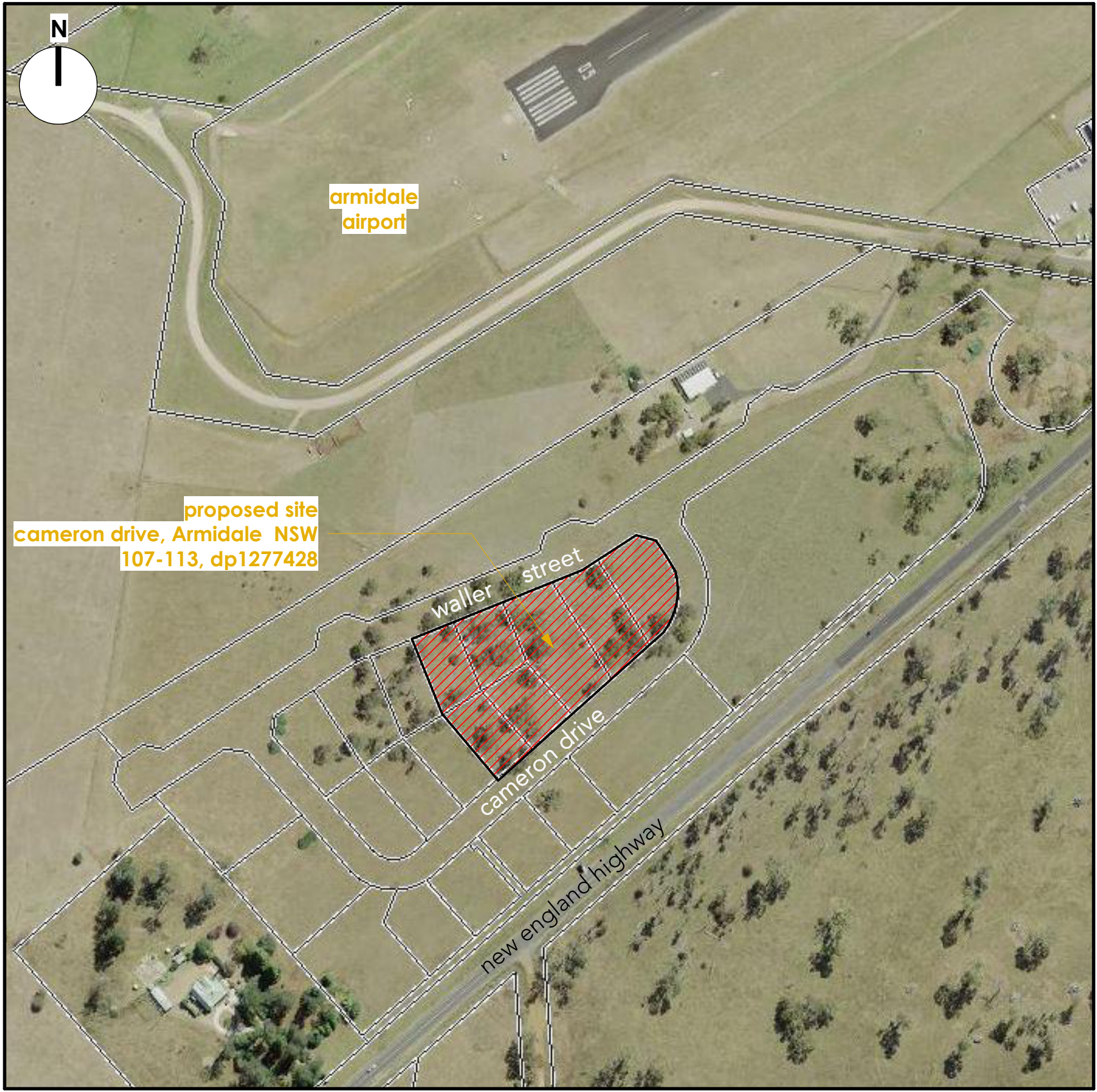
classification - BCA 'part A6'
The building has been classified as a 'Class 7b' & Class 5 building - warehouse + office

rise in stories - BCA 'part C1.2'
The building has a rise in stories of one.

effective height - BCA 'schedule 3 definitions'
The building has an effective height of zero, ie less than 25.0m.

type of construction required - BCA 'part A6, part C1.1 - table C1.1'
Class 7b building - Type 'C' construction. The building has been deemed 'conditioned' excluding the toilets & airlocks.

climate zone - BCA 'schedule 3 definitions'
The building is located within climate zone 7



PROPOSED WAREHOUSE & OFFICE BUILDING

ISSUE FOR DA, 01.07.22



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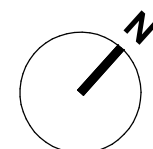


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Client: AERO HEALTHCARE
Project: PROPOSED WAREHOUSE & OFFICE BUILDING @
ARMIDALE AIRPORT BUSINESS PARK - CAMERON DRIVE
Title: COVER SHEET
Drawing Number
38488 - A00
Revision
E

1 : 350 (A1)

0 3500 7000 14000 28000



general

This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including;

- notify a.G.L.
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works abut existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey setout to be carried out by a registered surveyor.

Stormwater

Stormwater shall be prevented from entering doorways & other openings in buildings. Where these are lower than adjacent ground surfaces, grated drains shall be designed & placed across ramps or entrances to intercept any flow, which would otherwise drain into the building in accordance with AS/NZS 3500.3, P5.3.1.4 - Stormwater drainage

Site drainage is to be constructed according to AS/NZS 3500.3 - *Stormwater drainage*.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

The following schedule has been prepared in accordance with Armidale Dumaresq Council's off-street parking code:-

building usage	floor area	rate of prov.	total required
warehouse / production	5322m ²	1 / 300m ²	18
office space	1147m ²	1 / 40m ²	29
total number of carparks required			47
total number of carparks provided			60

barnson.
DESIGN . PLAN . MANAGE

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Rev.	Date.	Amendment.
B	19.05.22	CONCEPT PLAN / PERSPECTIVES
C	03.06.22	AMEND WAREHOUSE SIZE TO SUIT RACKING, ADD COLUMNS IN PRODUCTION
D	09.06.22	AMEND OVERALL FLOOR PLAN - SETBACK ADMIN BUILDING
E	01.07.22	ISSUE FOR DA
F	25.08.22	AMEND ADMIN FLOOR PLAN
G	29.08.22	DA MODIFICATION

Project.

Site Address.

ARMIDAL

ARMIDALE AIRPORT BUSINESS PARK - CAMERON
DRIVE - LOT 107-113, DP1277428

Client.
AERO HEALTHCARE

Drawing Title.

Scale. As indicated @ A1

Sheet. 02 of 15

Project No. 38488

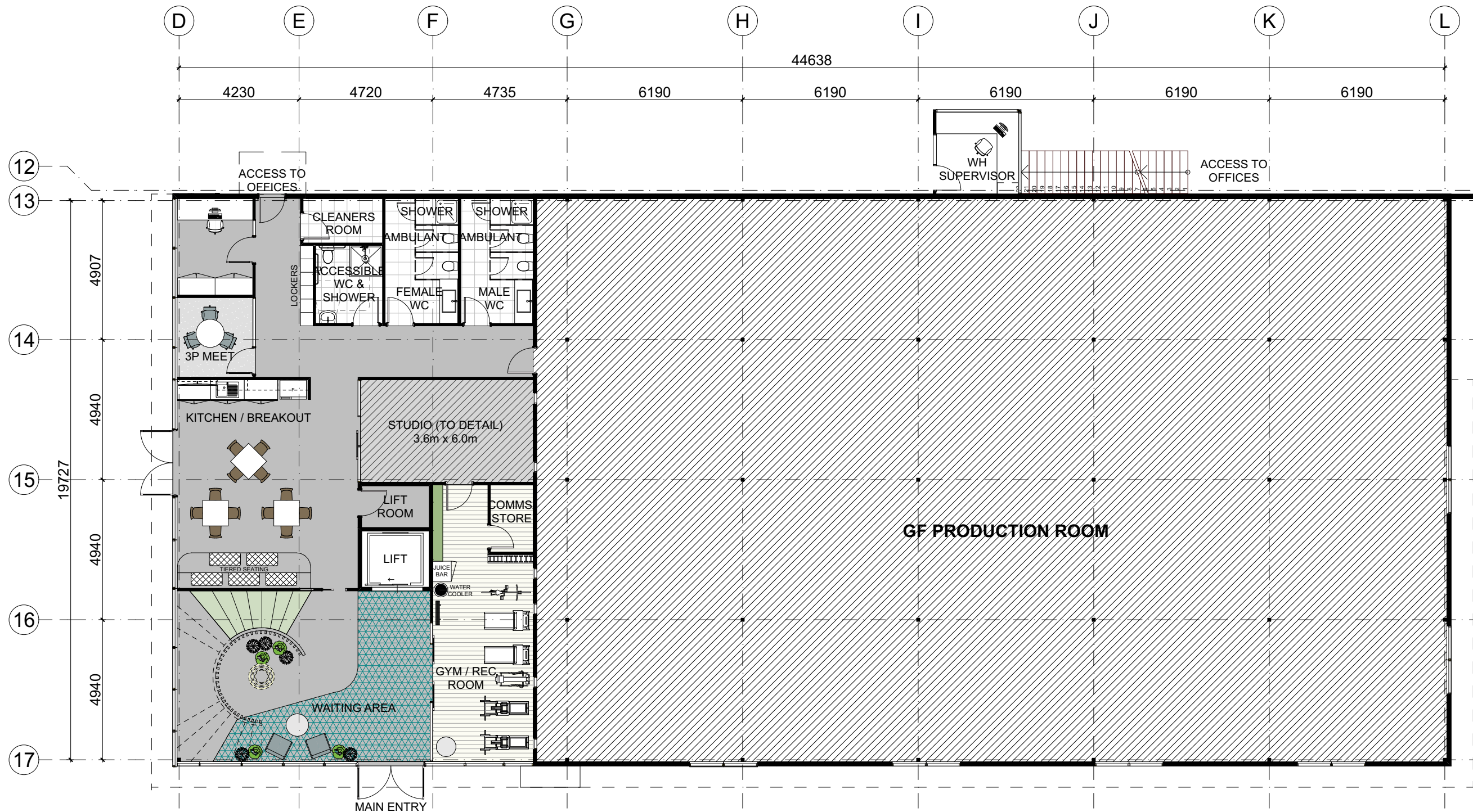
Drawn.

Checked.

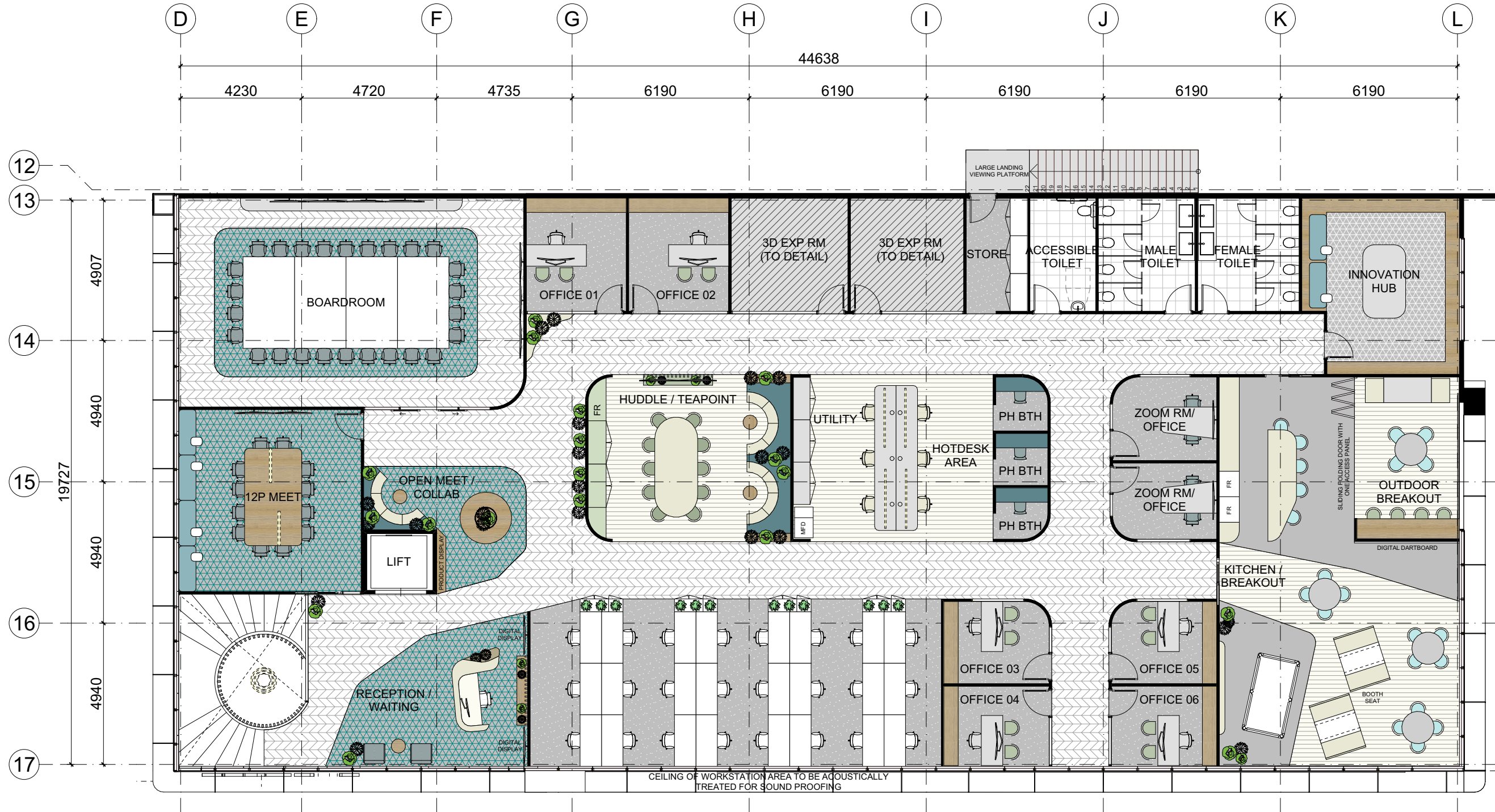
Revision.

Drawing No.

38488-
A01



1 **PROPOSED GF OFFICE BUILDING FLOOR PLAN**
SCALE 1:150



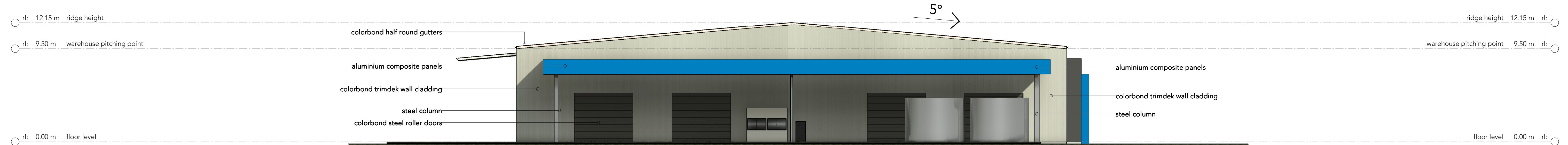
PROPOSED L1 OFFICE BUILDING FLOOR PLAN
SCALE 1:150



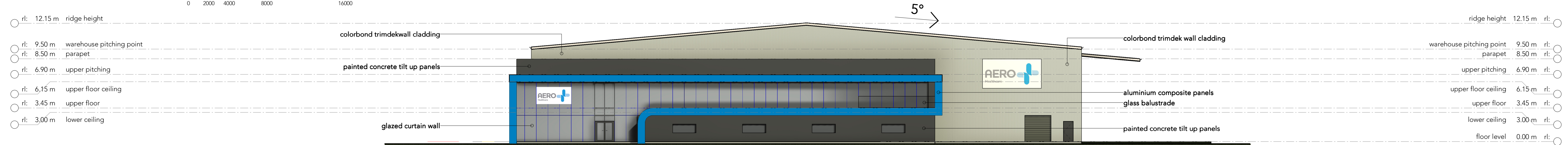
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1 : 200 (A1)
0 2000 4000 8000 16000



06 elevation: north west facade
1 : 200 (A1)
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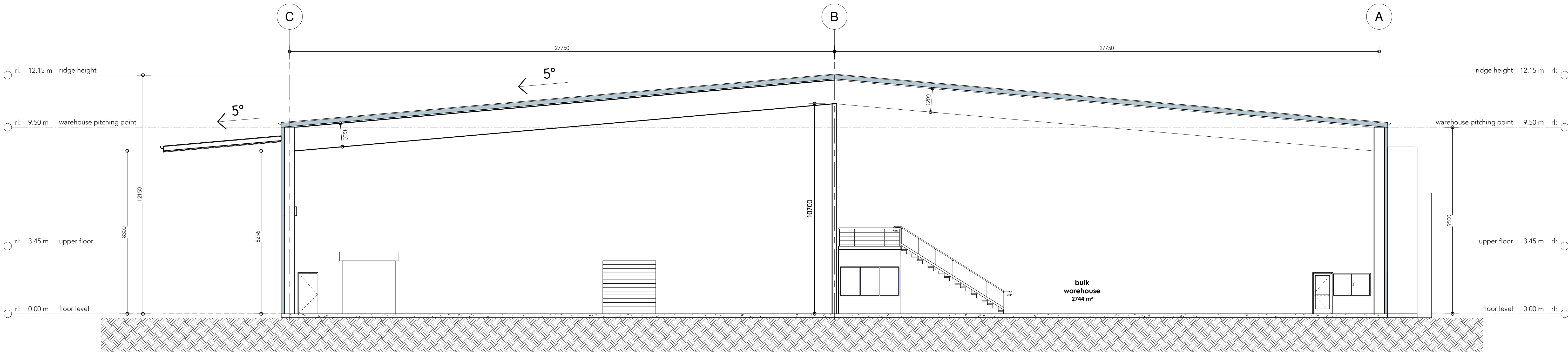


07 elevation: south west facade
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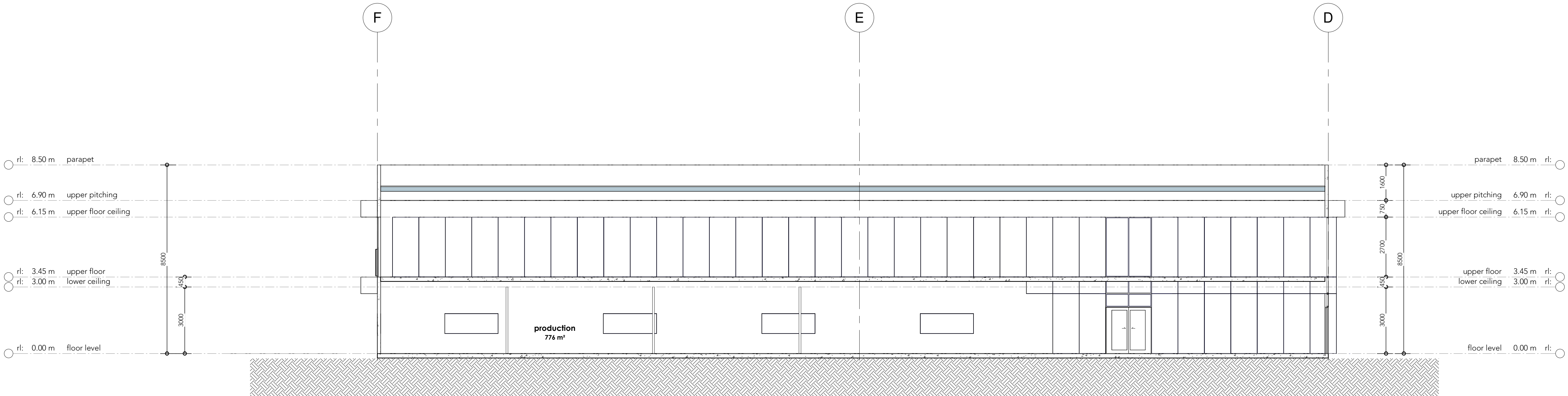


08 elevation: north east facade
1 : 200 (A1)
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ISSUE FOR DA

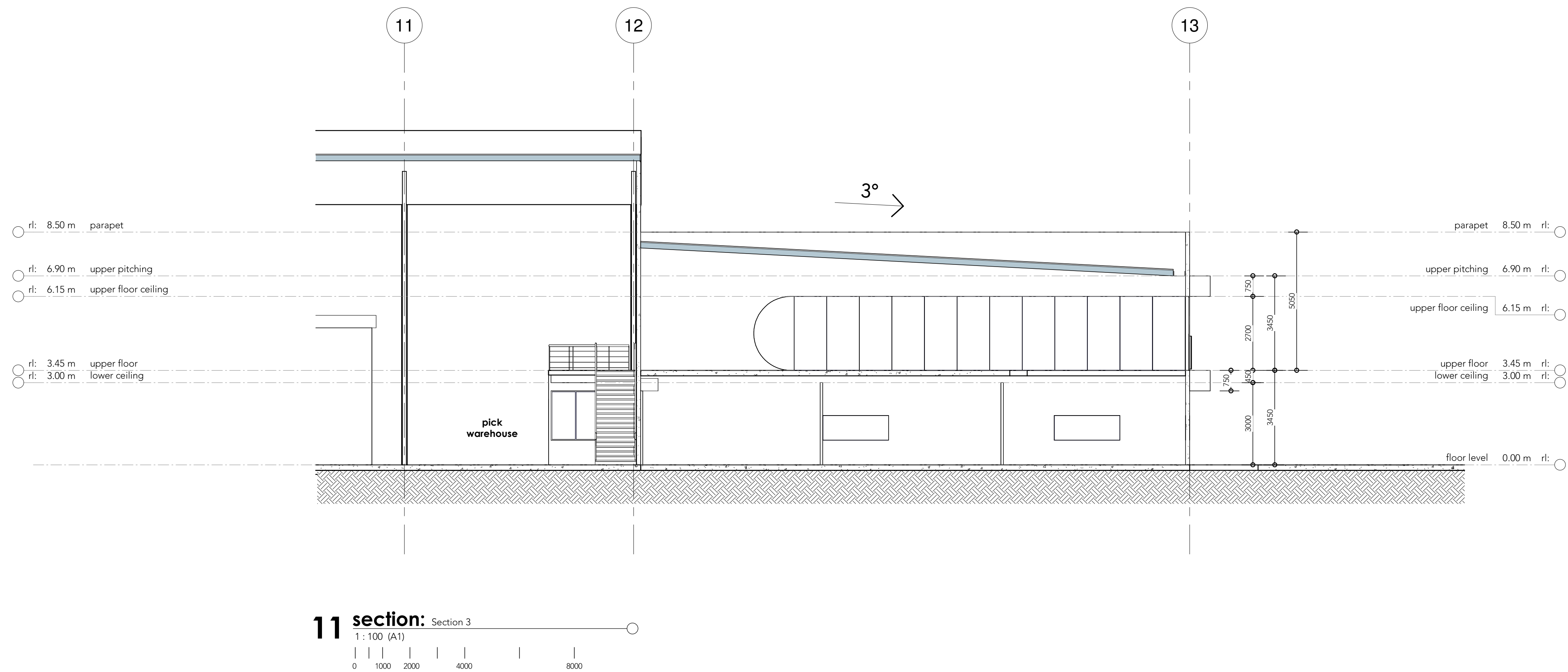


09 section: Section 1
1 : 100 (A1)



10 section: Section 2
1 : 100 (A1)

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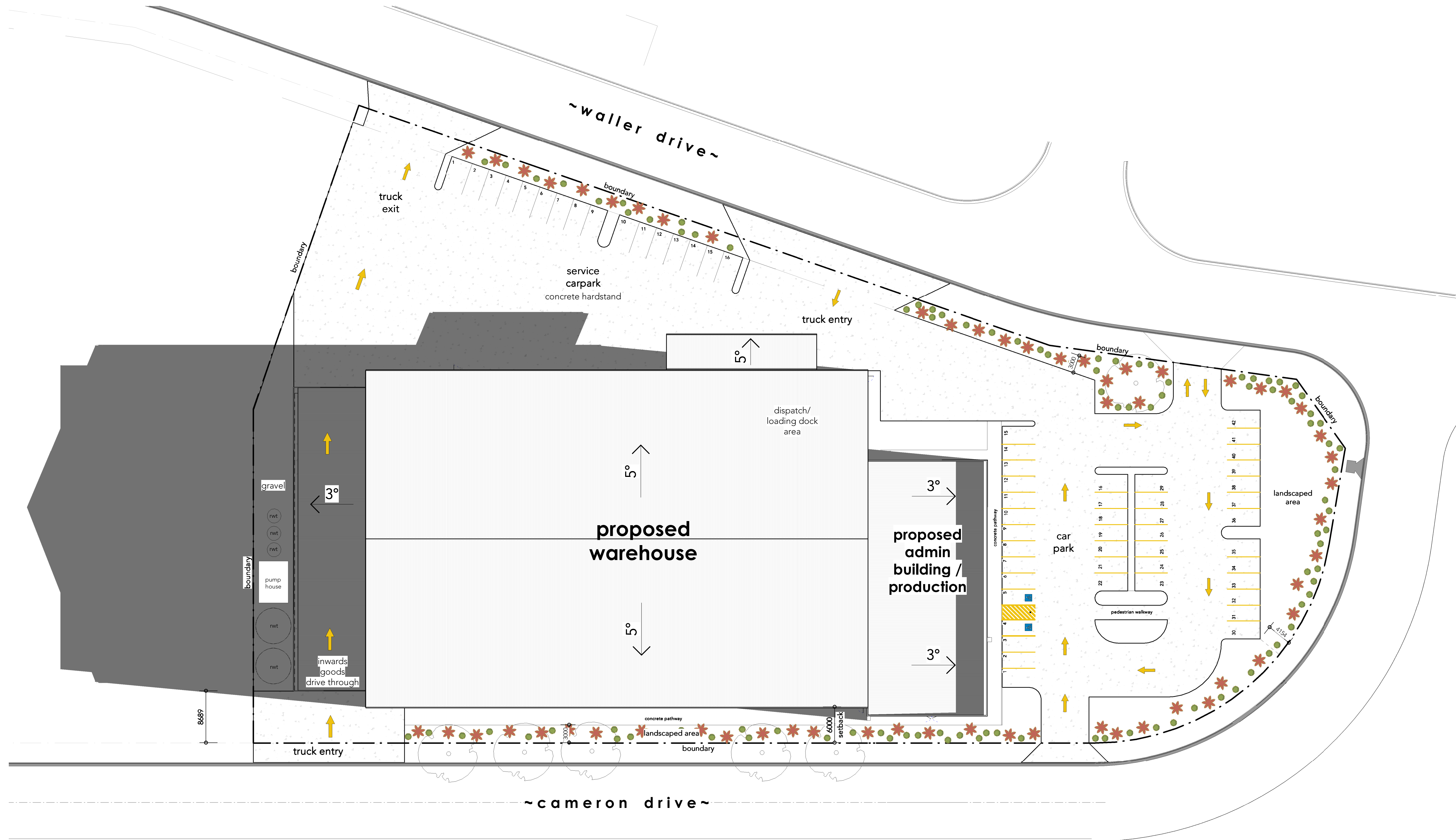
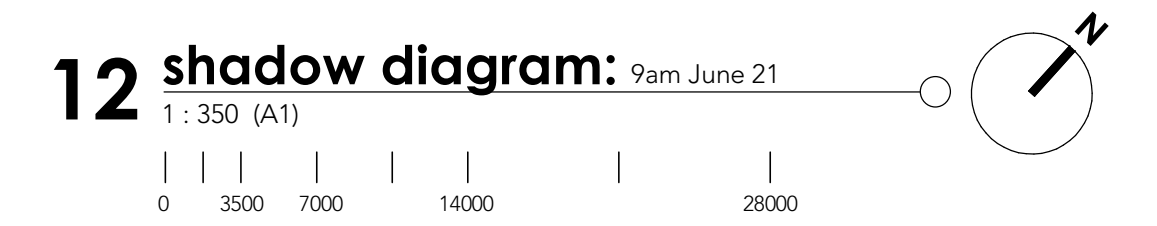
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DRAWINGS APPLICABLE TO THIS PROJECT. ALL
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Client: **AERO HEALTHCARE**
Project: **PROPOSED WAREHOUSE & OFFICE BUILDING @
ARMIDALE AIRPORT BUSINESS PARK - CAMERON
DRIVE**
Drawing Title: **SECTIONS**

Rev	Date	Amendment
A	27.04.22	CONCEPT SITE LAYOUT
B	19.05.22	CONCEPT PLAN / PERSPECTIVES
C	03.06.22	AMEND WAREHOUSE SIZE TO SUIT RACKING. ADD COLUMNS IN PRODUCTION
D	09.06.22	AMEND OVERALL FLOOR PLAN - SETBACK ADMIN BUILDING
E	01.07.22	ISSUE FOR DA

Design	Drawn	Check
LO	LO	KG
Sheet 08 of 12		
Drawing Number	Revision	
38488- A07	E	

1S



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Client: **AERO HEALTHCARE**
Project: **PROPOSED WAREHOUSE & OFFICE BUILDING @ ARMIDALE AIRPORT BUSINESS PARK - CAMERON DRIVE**
Drawing Title: **SHADOWS 9am**

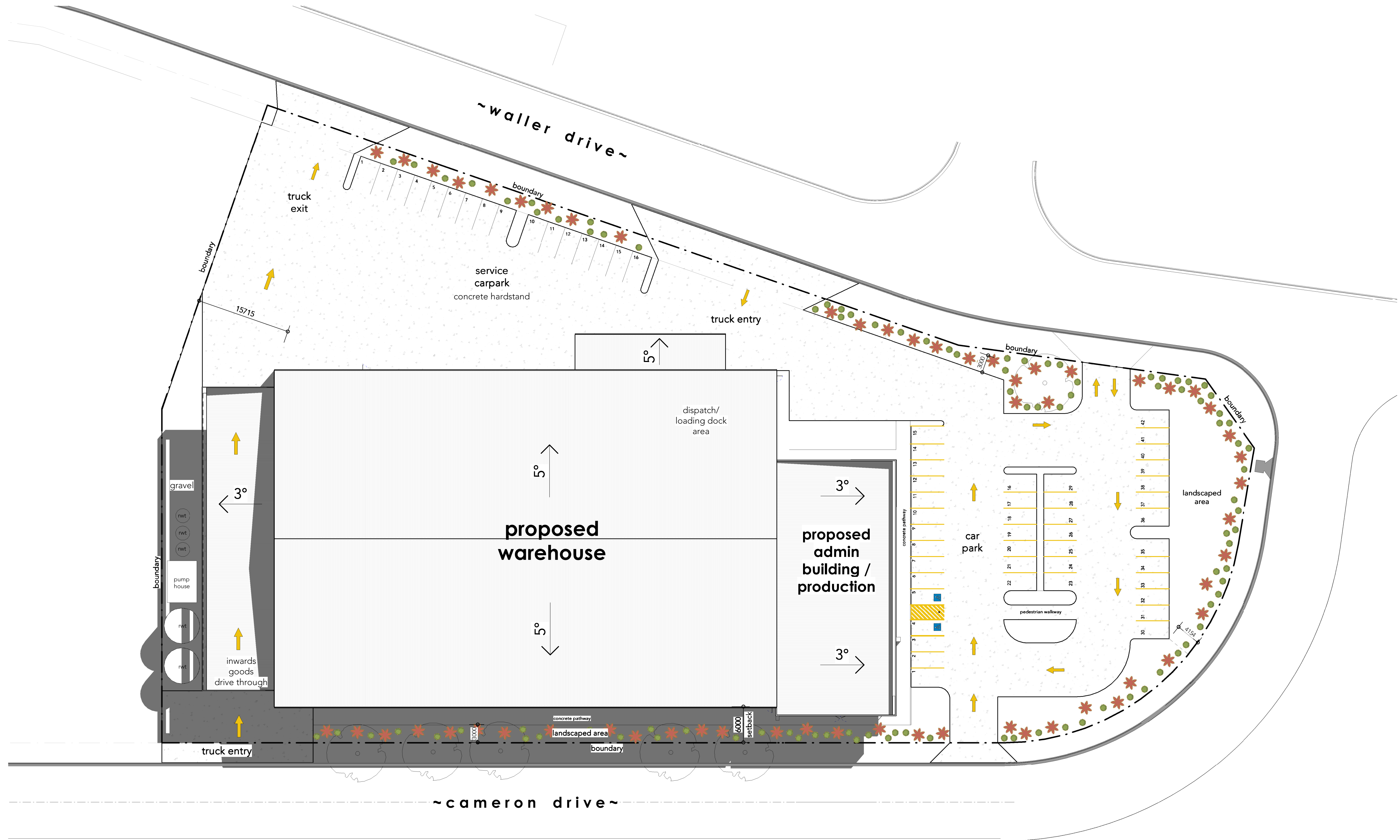
Rev	Date	Amendment
A	27.04.22	CONCEPT SITE LAYOUT
B	19.05.22	CONCEPT PLAN / PERSPECTIVES
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E	01.07.22	ISSUE FOR DA

Design	Drawn	Check
LO	LO	KG

Sheet **12** of **12**

Drawing Number	Revision
38488- A08	E



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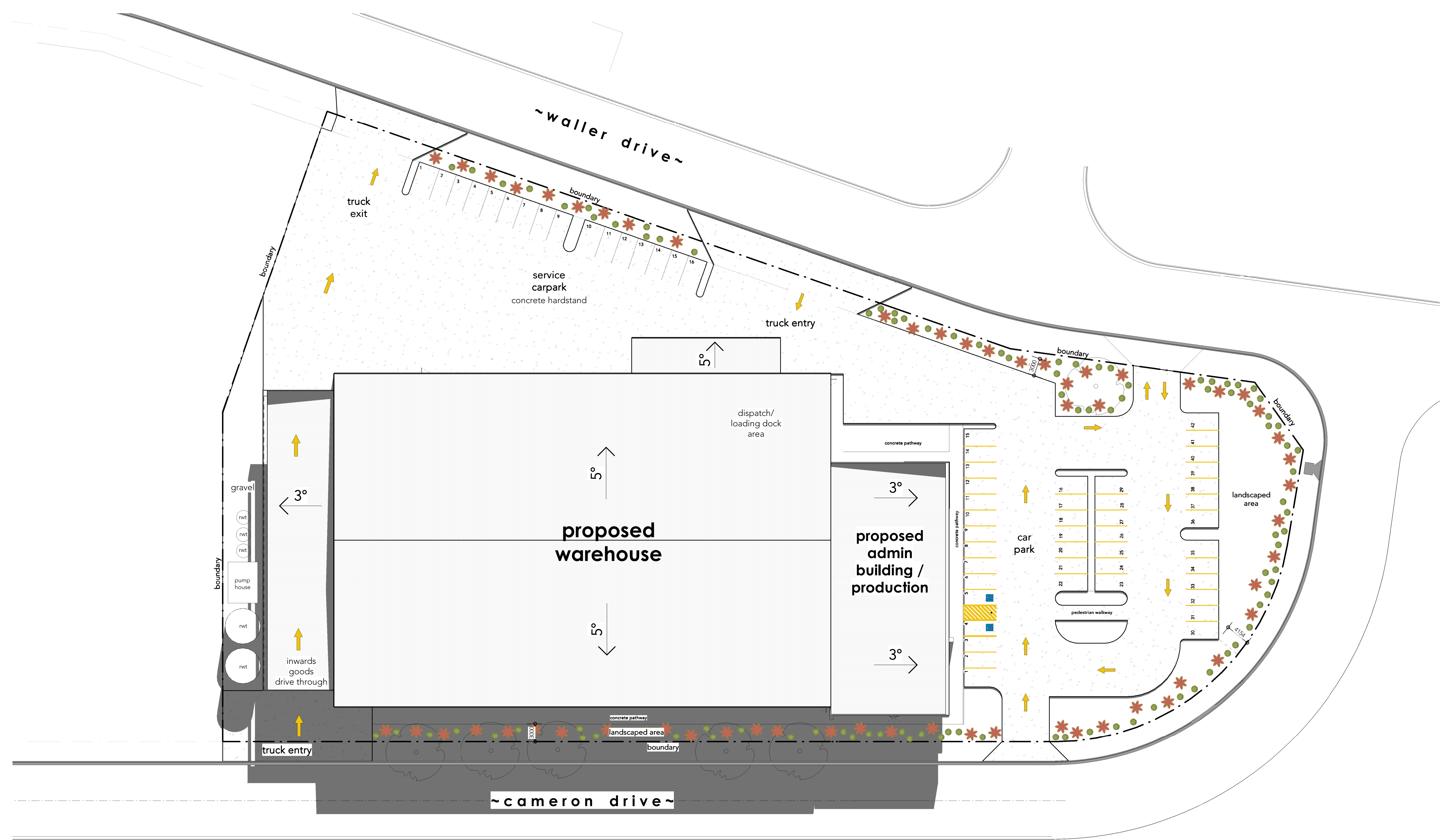
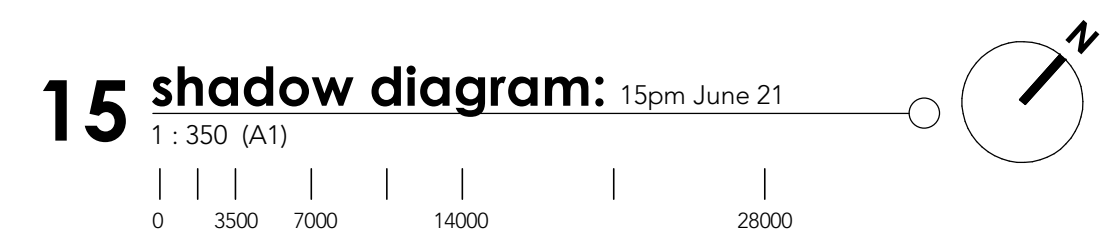
Client: **AERO HEALTHCARE**
Project: **PROPOSED WAREHOUSE & OFFICE BUILDING @
ARMIDALE AIRPORT BUSINESS PARK - CAMERON
DRIVE**
Drawing Title: **SHADOWS 1pm**

Rev	Date	Amendment
A	27.04.22	CONCEPT SITE LAYOUT
B	19.05.22	CONCEPT PLAN / PERSPECTIVES
C	03.06.22	AMEND WAREHOUSE SIZE TO SUIT RACKING. ADD COLUMNS IN PRODUCTION
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E	01.07.22	ISSUE FOR DA

Design	Drawn	Check
LO	LO	KG

Sheet **08** of **12**

Drawing Number	Revision
38488- A10	E



ISSUE FOR DA